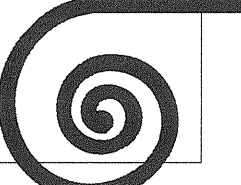


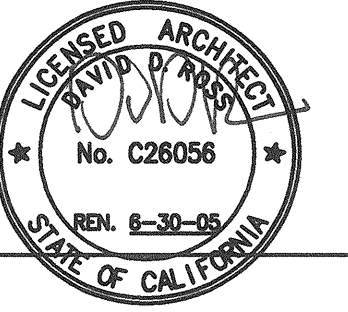
MOUNTAIN VIEW SENIOR CENTER

PROJECT NO. 04-28

BSA ARCHITECTS



A California Corporation
501 Folsom Street, Fourth Floor
San Francisco, CA 94105
415-381-4720



MOUNTAIN VIEW
SENIOR CENTER

266 ESCUELA AVE.
MOUNTAIN VIEW, CA

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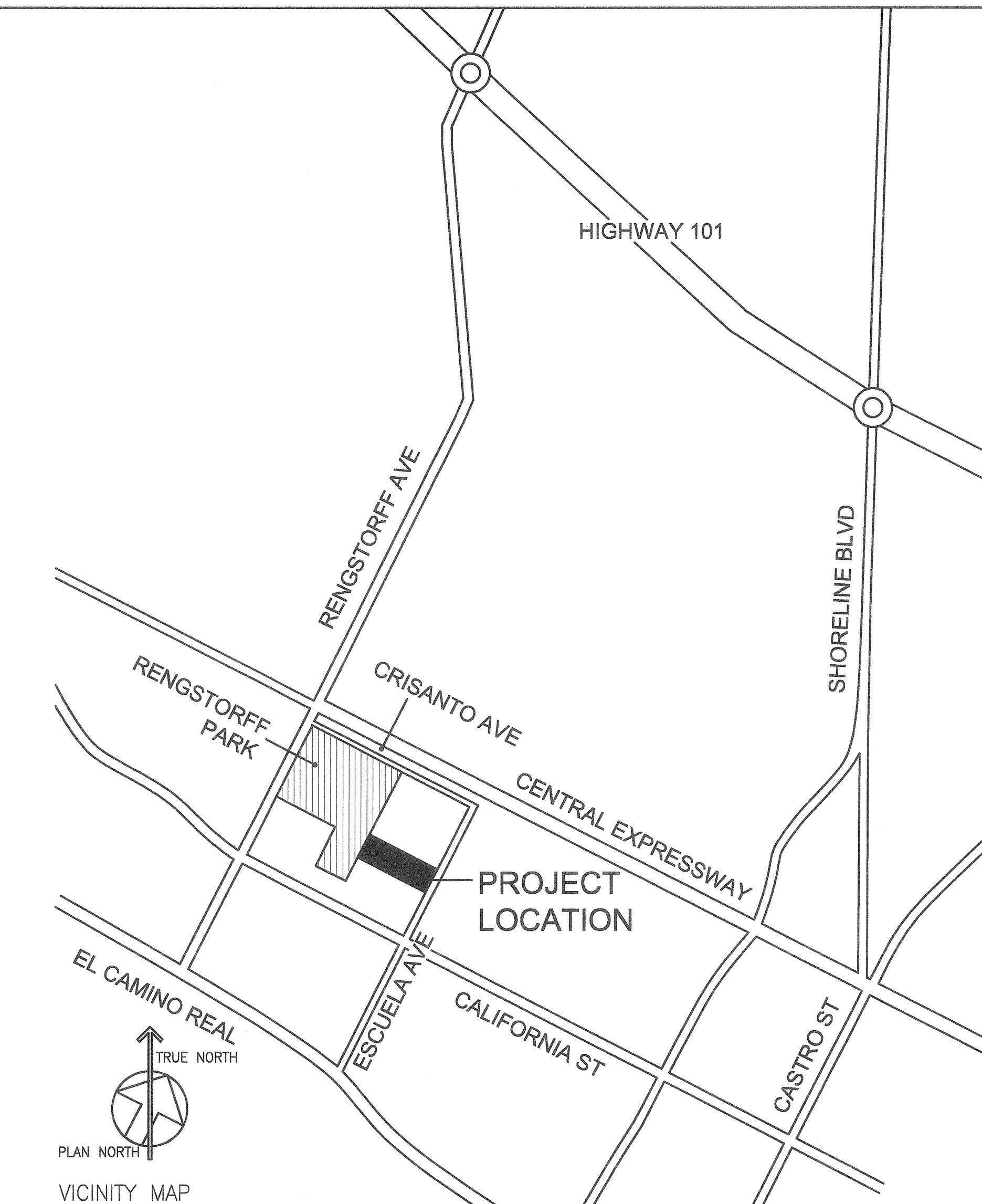
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SCOPE OF WORK AND PHASING

NEW SENIOR CENTER BUILDING, APPROXIMATELY 23,600 SF

ALL ASSOCIATED SITE IMPROVEMENTS WITHIN THE SITE LIMITS, INCLUDING FINISH GRADING, LANDSCAPING AND PAVING AT THE EXISTING SENIOR DAY HEALTH CARE BUILDING. REFER TO A1.2 & A1.2 FOR LIMITS OF WORK.

REFER TO T1.4, T1.5, T1.6 "PHASING PLANS" AND SPECIFICATIONS FOR CONSTRUCTION SEQUENCING AND COORDINATION WITH THE TEMPORARY SENIOR CENTER AND SENIOR DAY HEALTH CARE BUILDINGS.

SITE AND BUILDING STATISTICS

BUILDING AREA: 23,600 SF APPROX (NOT INCL SDHC)
ZONING: PF PUBLIC FACILITIES
ADDRESS: 266 ESCUELA AVE
MOUNTAIN VIEW, CA
MAXIMUM ALLOWABLE HEIGHT: 45 FEET (EQUAL TO MIN SETBACK AT SIDEYARD)
ACTUAL BUILDING HEIGHT: 24 FEET (TO MIDPOINT OF SLOPED ROOF)
SITE AREA: 211,000 SQ FT
LANDSCAPE AREA: 74,000 SQ FT APPROX
HARDSCAPE AREA: 102,600 SQ FT APPROX
OCCUPANCY GROUP: A2.1, A-3, B
CONSTRUCTION TYPE: TYPE V-1HR
(SPRINKLERS SUBSTITUTE FOR 1 HR)

APPLICABLE BUILDING CODES FOR PROJECT:

2001 EDITION OF CALIFORNIA BUILDING CODE
(CHAPTER 10 AMENDED TO REFERENCE UBC 1994
EXITING REQUIREMENTS)
NFPA, LIFE SAFETY CODE HANDBOOK
NFPA A-13, NFPA 24, NFPA 72
2001 EDITION OF UNIFORM MECHANICAL CODE
2001 EDITION OF UNIFORM PLUMBING CODE
2001 EDITION OF NATIONAL ELECTRIC CODE
2001 EDITION OF UNIFORM FIRE CODE
CITY OF MOUNTAIN VIEW STANDARD PROVISIONS (LATEST EDITION)
CALTRANS STANDARDS SPECIFICATIONS (LATEST EDITION)

REFER TO SHEET T1.3 FOR CODE ANALYSIS
AND DIAGRAM

A MANUAL AND AUTOMATIC FIRE ALARM SYSTEM IS REQUIRED. REFER
TO SHEET T1.2, "DEFERRED SUBMITTALS". 1 1/2" FIRE HOSE VALVE
OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH MOUNTAIN VIEW
CITY CODE.

ALTERNATES

REFER TO SPECIFICATIONS SECTION 01230.

ADDITIVE ALTERNATES

- ADDITIVE ALTERNATE NO.1-GRID PATTERN METAL FENCE
- ADDITIVE ALTERNATE NO.2-GRAFFITI RESISTANT COATINGS
- ADDITIVE ALTERNATE NO.3-GAMES ROOM FINISHES
- ADDITIVE ALTERNATE NO.4-WOOD PANELING
- ADDITIVE ALTERNATE NO.5-FIBERGLASS REINFORCED ROOF SHINGLES
- ADDITIVE ALTERNATE NO.6-CEMENT FIBER ROOF SHINGLES, COPPER FLASHING AND TRIM

DEDUCTIVE ALTERNATES

- DEDUCTIVE ALTERNATE NO.1-RATED INTERIOR WINDOW GLAZING
- DEDUCTIVE ALTERNATE NO.2-SITE FURNISHINGS
- DEDUCTIVE ALTERNATE NO.3-PEDESTRIAN CONCRETE COLOR
- DEDUCTIVE ALTERNATE NO.4-WOOD PLANK CEILINGS
- DEDUCTIVE ALTERNATE NO.5-CEMENT PLASTER ACRYLIC FINISH

BENCH MARK

CITY OF MOUNTAIN VIEW BENCHMARK IV-06,
REFER TO BENCHMARK STATEMENT, SHEET C-01

DATE: APRIL 18, 2005

REVISIONS:

CONSTRUCTION SET

SHEET TITLE:
TITLE SHEET

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SHEET

T1.1

ARCHITECTURAL DRAWING ABBREVIATIONS

& L O t # (E)	And Angle At Centerline Diameter or Round Pound or Number Existing	DIA. DIM. DISP. DN. D.O. DR. DS. D.S.P. DWG. DWR.	Diameter Dimension Dispenser Down Door Opening Downspout Dry Standpipe Drawing Drawer	H.B. H.C. HD. HDWD. HDWE. HGT. H.M. HORIZ. HR.	Hose Bibb Hollow Core Heat Detector Hardwood Hardware Height Hollow Metal Horizontal Hour	PT. P.T.D. P.T.D./R PTNL. P.TR	Point Paper Towel Dispenser Combination Paper Towel Dispenser & Receptacle Partition Preservative Treated Wood	THK. T.O. T.O.C. T.O.P. T.O.S. T.P. T.P.D. TRD. T.V. T.W. TYP.	Thick Top of Top of Curb Top of Plate Top of Slab Top of Pavement Toilet Paper Dispenser Tread Television Top of Wall Typical
ACOUS. A.D. ADC ADO ADJ. A.F.F. AGGR. ALUM. AP. APPROX. ARCH. AT. ASPH. BD. BITUM. BLDG. BLK. BLKG. BM. B.O.H. B.O. BOT. CAB. C.B. C.B.U. CEM. CER. C.G. C.I. C.J. CLG. CLKG. CLOS. CLR. CMU CNTR. C.O. COL. CONC. CONN. CONST. CONT. CS. CTR. CTSK. D.A. DBL. DEPT. DET. D.F.	Acoustical Area Drain Automatic Door Control Automatic Door Operator Adjustable Above Finish Floor Aggregate Aluminum Acoustical Panel Approximate Architectural Acoustical Tile Asphalt Board Bituminous Building Block Blocking Beam Back of House Bottom of Bottom Cabinet Catch Basin Cementitious Backer Unit Cement Ceramic Corner Guard Cast Iron Control Joint Ceiling Caulking Closet Clear Concrete Masonry Unit Counter Cased Opening Column Concrete Connection Construction Continuous Concrete Sealer Center Countersunk Disabled accessible Double Department Detail Drinking Fountain	(E) EA. EIFS EJ. EL. ELEC. EMER. ENCL. E.P. EQ. EQPT. E.W.C. EXP. EXPO. EXT. F.A.P. F.A. F.B. F.D. FDN. F.E. F.E.C. F.G.R. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. F.S. F.S. FT. FTG. FURR. GA. GALV. G.B. GL. GND. GR. GYP.	Existing Electrical Each Exterior Insulation Finish System Expansion Joint Elevation Electrical Emergency Enclosure Electrical Panelboard Equal Equipment Electric Water Cooler Expansion Exposed Existing Exterior Fire Alarm Panel Fire Alarm Flat Bar Floor Drain Foundation Fire Extinguisher Fire Extinguisher Cabinet Fiberglass Reinforced Finish Floor Flashing Fluorescent Face of Concrete Face of Finish Face of Studs Fireproof Floor Sink Full Size Foot or Feet Footing Furring Gauge Galvanized Grab Bar Ground Grade Gypsum	I.D. INSUL. INT. IRRG. JAN. JT. KIT. LAM. LAV. LKR. LT. MAX. M.D.F. MECH. MEMB. MTL. MFR. MH. MIN. MIR. MISC. M.O. MTD. MTG. MUL. (N) N. N.I.C. NO. or # NOM. N.T.S. O.A. OBS. OCC. O.C. O.D. O.F.D. O.H. OFF. OPNG. OPP. PL. P.LAM. PLAS. PLYWD. PNT. PR. PRCST.	Inside Diameter (Dim.) Insulation Interior Irrigation Janitor Joint Kitchen Laminate Lavatory Locker Light Maximum Medium Density Fiber Board Mechanical Membrane Metal Manufacturer Manhole Minimum Mirror Miscellaneous Masonry Opening Mounted Mounting Mullion New North Not in Contract Number Nominal Not to Scale Overall Obscure Occupants On Center Outside Diameter (Dim.) Overflow Drain Opposite Hand Office Opening Opposite Plate Plastic Laminated Plaster Plywood Paint Pair Pre-Cast	R. RAD. R.B. R.D. REF. REFR. REINF. REQ. RESIL. RGTR. RJ. RM. R.O. RWD. R.W.L. S. S.C. S.C.D. SCHED. SD. SECT. SH. SHR. SHT. SIM. SJ. S.N.D. S.N.R. SPEC. SQ. S.S. S.S.T. STA. STD. STL. STOR. STRL. SUSP. SYM. T T.B. T.C. TEL. TER. T.&G. T.G.	Riser Radius Resilient Base Roof Drain Reference Refrigerator Reinforced Required Resilient Register Reveal Joint Room Rough Opening Redwood Rainwater Leader South Solid Core Seat Cover Dispenser Schedule Smoke Detector Section Shelf Shower Sheet Similar Seismic Joint Sanitary Napkin Dispenser Sanitary Napkin Receptacle Specification Square Sanitary Sewer Stainless Steel Station Standard Steel Storage Structural Suspended Symmetrical Telephone Towel Bar Top of Curb Telephone Terrazzo Tongue and Groove Truss Joist	UNF. U.O.N. UR. VCT. VERT. VEST. VWC. W. W/ W.C. WD. WDB. WH W/O WP. WSCT. WT.	Unfinished Unless Otherwise Noted Urinal Vinyl Composition Tile Vertical Vestibule Vinyl Wall Covering Water With Water Closet Wood Wood Base Water Heater Without Waterproof Wainscot Weight

ARCHITECTURAL SYMBOLS

	DETAIL BUBBLE		WINDOW TYPE
	DETAIL SECTION SYMBOL		LOUVER TYPE
	WALL SECTION SYMBOL		FINISH SYMBOL
	BUILDING SECTION SYMBOL		EQUIPMENT SYMBOL
	PLAN DETAIL SYMBOL		TOILET ACCESSORY
	INTERIOR ELEVATION		SHEET NOTE
	EXTERIOR ELEVATION		INTERIOR COLUMN CLADDING KEY
	PARTITION TYPE SYMBOL SEE SHT. A9.1 FOR TYPE & NOTES		REVISION BUBBLE
	LOBBY — ROOM NAME		TRUE NORTH
	A100 — ROOM NO.		
	GRADE SYMBOL		
	WORK POINT		
	ELEVATION NOTATION		
	MATCH LINE		

GENERAL NOTES

- ALL DIMENSIONS FROM GRIDLINE ARE TO COLUMN GRID, FACE OF STUD, CENTER OF WINDOW, CENTER OF FIXTURE U.O.N.
- ALL DIMENSIONS ON ELEVATIONS ARE INDICATED FROM FINISH FLOOR ELEVATION TO: FIXTURE, FINISH WALL, OR BLOCK WALL UNLESS OTHERWISE NOTED.
- ABBREVIATIONS AT RIGHT SIDE OF DRAWING TITLE INDICATES A COMPUTER DRAWING FILE NAME AND HAS NOTHING TO DO WITH CONSTRUCTION
- REFER TO G1-G5 FOR SIGNAGE LOCATIONS AND THE SIGN SCHEDULE & SPECIFICATIONS FOR MORE INFORMATION
- FOR FINISHES, REFER TO FINISH SCHEDULE A11.01
- REFER TO WINDOW SCHEDULE A11.02
- REFER TO DOOR SCHEDULE A11.03
- SEE ENLARGED PLANS SHEETS A4.1 FOR ADDITIONAL DIMENSIONS & FLOOR FINISH INFORMATION
- DO NOT SCALE DRAWINGS. CONTACT OWNER'S REPRESENTATIVE FOR DIMENSIONAL CLARIFICATION.
- REFER TO T1.4, T1.5, T1.6 "PHASING PLANS" AND SPECIFICATIONS FOR CONSTRUCTION SEQUENCING AND COORDINATION WITH THE TEMPORARY SENIOR CENTER AND SENIOR DAY HEALTH CARE BUILDINGS.

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY OF MOUNTAIN VIEW BUILDING DEPARTMENT, AS REQUIRED BY CBC SECTION 106.3.4.2:

- A FULL-COVERAGE AUTOMATIC FIRE-SPRINKLER SYSTEM SHALL BE INSTALLED WITHIN THE BUILDING. ALL DESIGN AND INSTALLATION WORK IS TO BE PERFORMED BY A CALIFORNIA STATE LICENSED C-16 (FIRE PROTECTION) CONTRACTOR OR LICENSED FIRE PROTECTION ENGINEER. SUBMIT CALCULATIONS, DETAILED PLANS, AND SPECIFICATIONS TO THE BUILDING AND FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO SYSTEM INSTALLATION.
- THE FIRE ALARM/SIGNAL SYSTEM AND FIRE MONITORING SYSTEM, SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS.

BSA ARCHITECTS

A California Corporation
501 Folsom Street, Fourth Floor
San Francisco, CA 94105
415-281-4720



MOUNTAIN VIEW
SENIOR CENTER

266 ESCUELA AVE
MOUNTAIN VIEW, CA

DATE: APRIL 18, 2005

REVISIONS:

CONSTRUCTION
SET

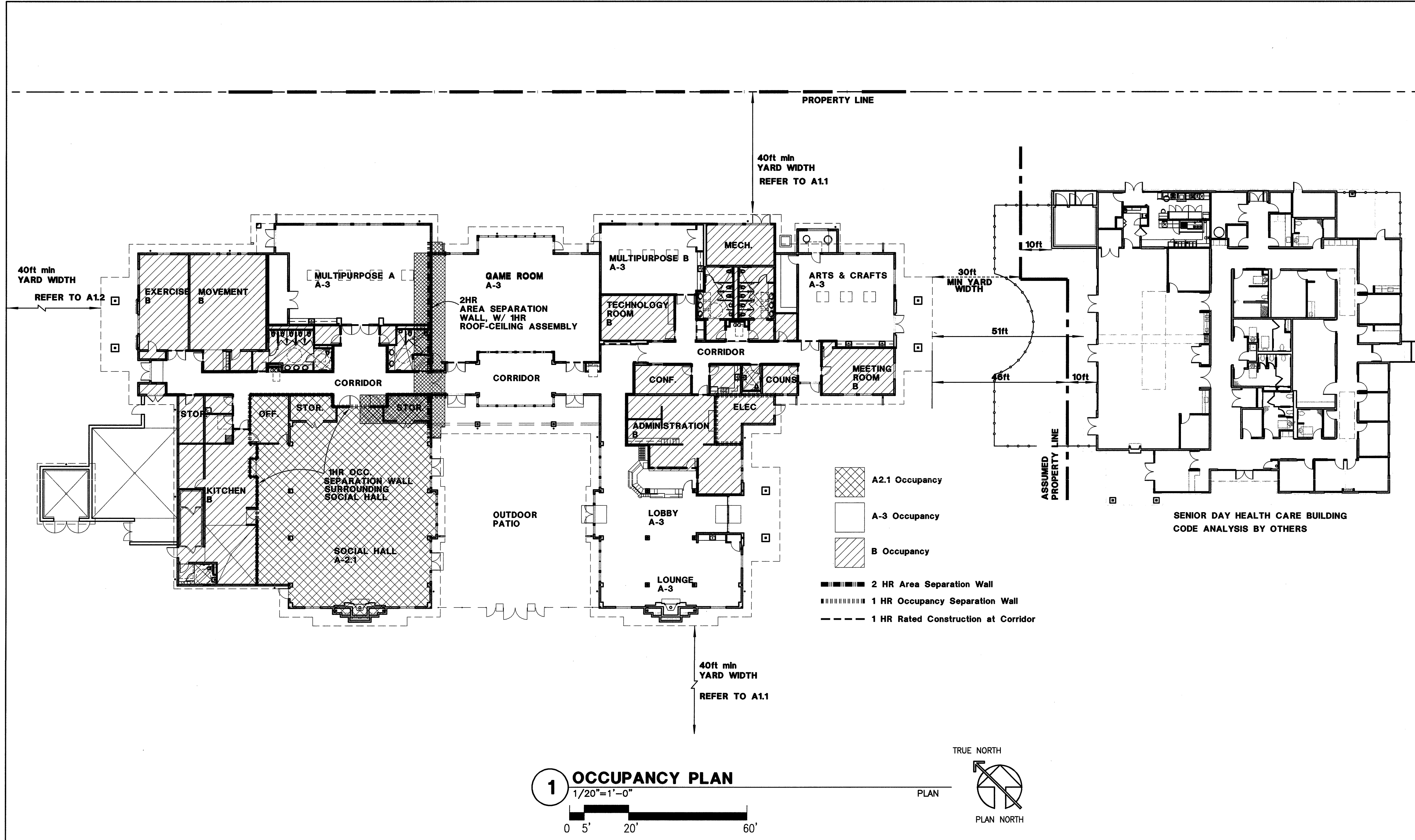
SHEET TITLE:
GENERAL NOTES
ABBREVIATIONS
& SYMBOLS

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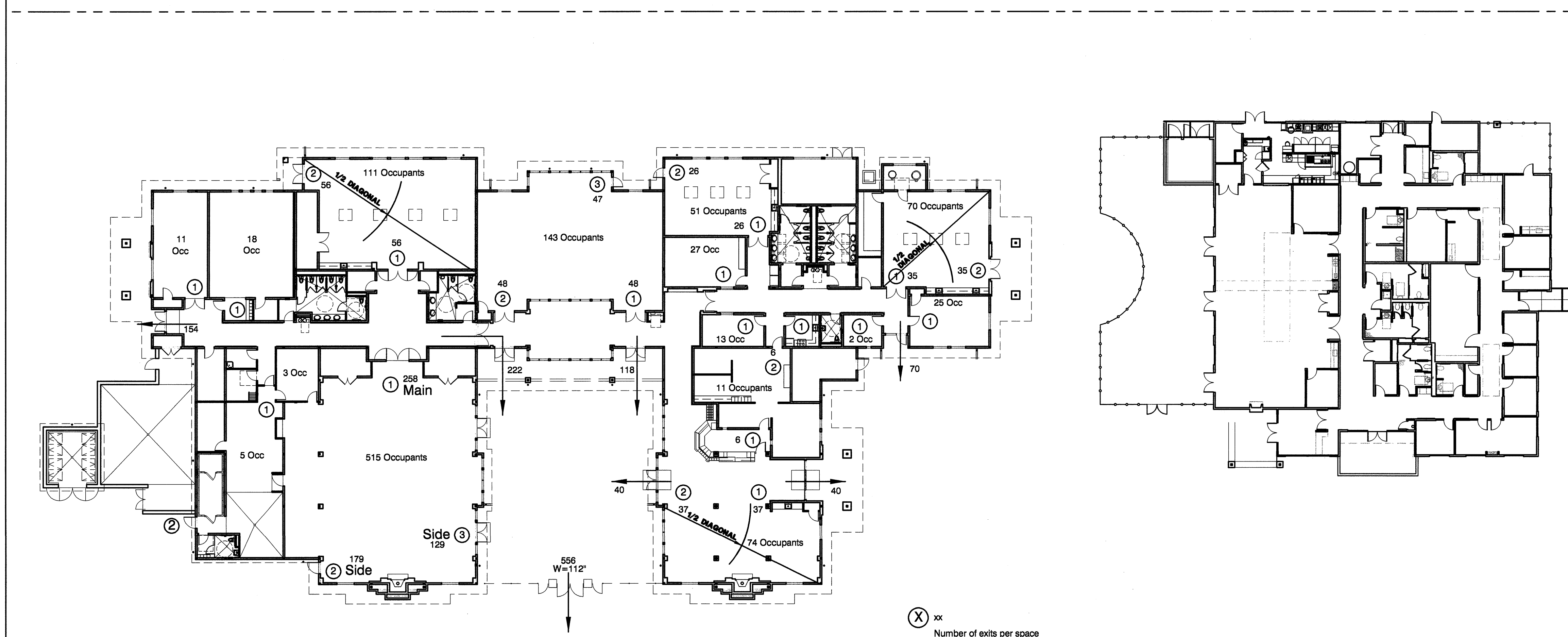
SHEET
T1.2

02-25-04 PLANDWG



1 OCCUPANCY PLAN

1/20"=1'-0"



2 EXITING PLAN

1/20"=1'-0"

BUILDING CODE ANALYSIS

Planned Permit Date: April 2005

GENERAL NOTES

Refer to Sheet T1.3 for Occupancy and Exiting Plan Diagrams

Plan information for the adjacent Senior Day Health Care building is included for reference only. Code compliance for that project is to be determined by a separate submittal by its owner.

APPLICABLE CODES

Mountain View enforces the following model codes:

2001 California Building Code and Amendments*
2001 California Mechanical Code
2001 California Plumbing Code
2001 California Electrical Code
2001 California Uniform Housing Code
2001 California Fire Code

*Chapter 10 has been amended to reference the exiting requirements per Chapter 10 of the 1994 Uniform Building Code.

CONSTRUCTION TYPE

Section 606
Construction of the Senior Center is Type V 1-hour throughout as defined in section 606.

The automatic sprinkler system provided throughout the buildings will be used to substitute for 1-hour construction, as defined in section 508.

OCCUPANCY TYPE

Table 3-A

The occupancy type is mixed use, combining A-2.1, A-3, & B. A breakdown of the buildings by rooms and occupancies is in the chart below. The occupancy type is based upon the use and number of occupants.

Room Name	Occ. Type
Social Hall	A-2.1
Lobby	A-3
Lounge	A-3
Multipurpose A	A-3
Multipurpose B	A-3
Arts/Crafts	A-3
Games	A-3
Dance/Mov't	B
Technology	B
Small Mtg	B
Kitchen & Support Spaces	B
Administration Offices	B
Men's & Women's Toilets	B
Mechanical, Electrical Rooms	B

AREA SEPARATION

Section 504.6

The building will be divided into two portions, "East" & "West", by a 2-hr area separation wall.

MIXED OCCUPANCY

Section 504.3

The building area is calculated from the inside face of the exterior walls. Breaking the total area of the building portions into occupancy types, the ratios for calculating allowable floor area for each portion are as follows:

Occ. Group	Proposed Area	% of Total Area
A-3	8,419sf/11,920sf	71%
B	3,501sf/11,920sf	29%

Occ. Group	Proposed Area	% of Total Area
A-2.1&A-3	7,222sf/11,168sf	65%
B	3,946sf/11,168sf	35%

ALLOWABLE AREA

Table 5-B

Using UBC Table 5-B and the mixed occupancy formula as defined in section 504.3, the basic allowable area for the building, as defined by the percentages of occupancy type as outlined above is as follows. These numbers are based on Type V-1 hour construction.

Occ. Group	Percent Area	Allowable Area	Proportional Area
A-2.1&A-3	71%	10,500 sf	7,416 sf
B	29%	14,000 sf	4,112 sf

Basic Allowable Area 11,528sf

Occ. Group	Percent Area	Allowable Area	Proportional Area
A-2.1&A-3	65%	10,500 sf	6,790 sf
B	35%	14,000 sf	4,947 sf

Basic Allowable Area 11,737sf

AREA INCREASE

Section 505.1.1

The Total Basic Allowable Area of the building can be increased by 2 1/2 % for each foot over 20 ft that it is open on 3 full sides. An assumed property line will designate the required clearance between the Senior Center and the Senior Day Health Care buildings. The Actual Area is less than the Total Allowable Area for each portion.

Basic Allowable Area	Increase	Total Allowable Area	Actual Area
11,504 sf	30' min: 22.5%	14,410 sf	11,920 sf

Basic Allowable Area	Increase	Total Allowable Area	Actual Area
11,713 sf	40' min: 50%	17,605sf	11,168 sf

ALLOWABLE HEIGHT

Table 5-B

For Type V 1-hour construction, the maximum height is 2 stories, 50 ft maximum to the average height of the sloping roof. This is a 1-story building; the maximum actual height to the midpoint of the slope of the highest roof is approximately 25 ft.

DISTANCE TO PROPERTY LINE, PROTECTION OF EXTERIOR WALLS & OPENINGS

UBC Table 5-A

Exterior non-bearing walls are required to be of 1-hour construction by the construction type and occupancy, but the fire sprinklers substitute for this requirement, per section 508. Windows are not permitted less than 5' from property line and are required to be protected openings if less than 10' from property line. An assumed property line is indicated between the Senior Center and the Senior Day Health Care Building.

OCCUPANCY SEPARATION REQUIREMENTS

Table 3-B

Type A-2.1a Type A-3 None required
Type A-2.1a Type B 1 hr
Type A-3 to Type B None required

OCCUPANT LOAD CALCULATIONS FOR EXITING PURPOSES

1994 UBC Table 10-A

All required exit doors from lobby or corridor areas or in rooms with 50 or more occupants will be equipped with panic hardware and will swing in the direction of the exits.

Room Name	Area	Use sf/Occ.	#Occ.	#Exits
Social Hall	3600	3	7	515
Lobby	810	3	7	116
Corridors	2970	30	100	30
Lounge	1095	4	15	74
Multipurpose A	1660	4	15	111
Multipurpose B	760	4	15	51
Exercise	540	12	50	11
Dance/Movement	920	12	50	19
Games	2135	4	15	143
Technology	370	4	15	27
Arts & Crafts	950	4	15	70
Small Mtg Rm	380	4	15	25
Conference	184	4	15	13
Counseling	116	23	100	2
Admin/Regist.Desk	1100	23	100	11
Kitchen Office	215	23	100	3
Kitchen	860	30	200	5

*1994 UBC Sections 1016.1&1016.2 require a main exit (1/2 total occ.)

& 2 side exits (1/3 total occ. ea.)

**1994 UBC Section 1002.1.1 exception, Lobby & Corridor occupancies do not add to the total occupant load for the building. Per Mtn View Building Dept, occupant load for corridor is based upon X Other, Table 10-A.

EXITING

1994 UBC Chapter 10

1005.7, 1006.12& 1009

The Corridors are protected by 1 hr wall and ceiling construction, with rated doors and openings.

SANITARY FIXTURES

Appendix 23

The total number of required plumbing fixtures is as follows

A Activity Rooms at 30 sf/occ	Area	#Men	WC	Lav	#Women	WC	Lav
Lounge	1095						
Movement/Dance	920						
Exercise Room	540						
Game Rm	2135						
Multipurpose Rm A	1660						
Multipurpose Rm B	760						
Technology/Computers	370						
Arts & Crafts	950						
Small Meeting Room	380						
Area total	8810 sf	147	4	4	147	4	4
A Assembly at 15 sf/occ	Area	#Men	WC	Lav	#Women	WC	Lav
Multipurpose/Dining	3600 sf	120	3	1	120	6	1
B Office at 150 sf/occ	Area	#Men	WC	Lav	#Women	WC	Lav
Admin/Conf	1284						
Counseling	116						
Kitchen Office	215						
Kitchen	850						
Area total	2465 sf	6	1	1	6	1	1
Total Req'd fixtures		8	6		11	6	

The total number of provided plumbing fixtures is as follows

Provided:	Multi fixture restroom
Men	8
Women	11

Provided: Uni sex restrooms

Men	1
Women	1

Drinking Fountains 1/150occ: 4 required

NOTE:

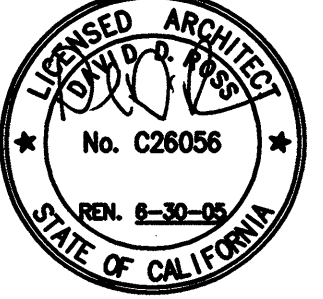
The City of Mountain View has elected to implement the following modifications to the Structural and Electrical systems at the Senior Center.

-A structural importance factor of 1.25 (seismic) and 1.15 (wind).

-An on site emergency generator to provide uninterrupted power for life safety and non-life safety services (exclusive of cooling). Refer to the structural and electrical engineering documents for design criteria and emergency power provisions.



A California Corporation
501 Folsom Street, Fourth Floor
San Francisco, CA 94105
415-281-4750



MOUNTAIN VIEW SENIOR CENTER

266 ESCUELA AVE
MOUNTAIN VIEW, CA

DATE: APRIL 18, 2005

REVISIONS:

CONSTRUCTION SET

SHEET TITLE:

BUILDING CODE ANALYSIS DIAGRAMS

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CHECKED BY: GJ

JOB NO: 0314.10

SHEET

T1.3

MOUNTAIN VIEW
SENIOR CENTER

266 ESCUELA AVE
MOUNTAIN VIEW, CA

DATE: APRIL 18, 2005

REVISIONS:

CONSTRUCTION
SET

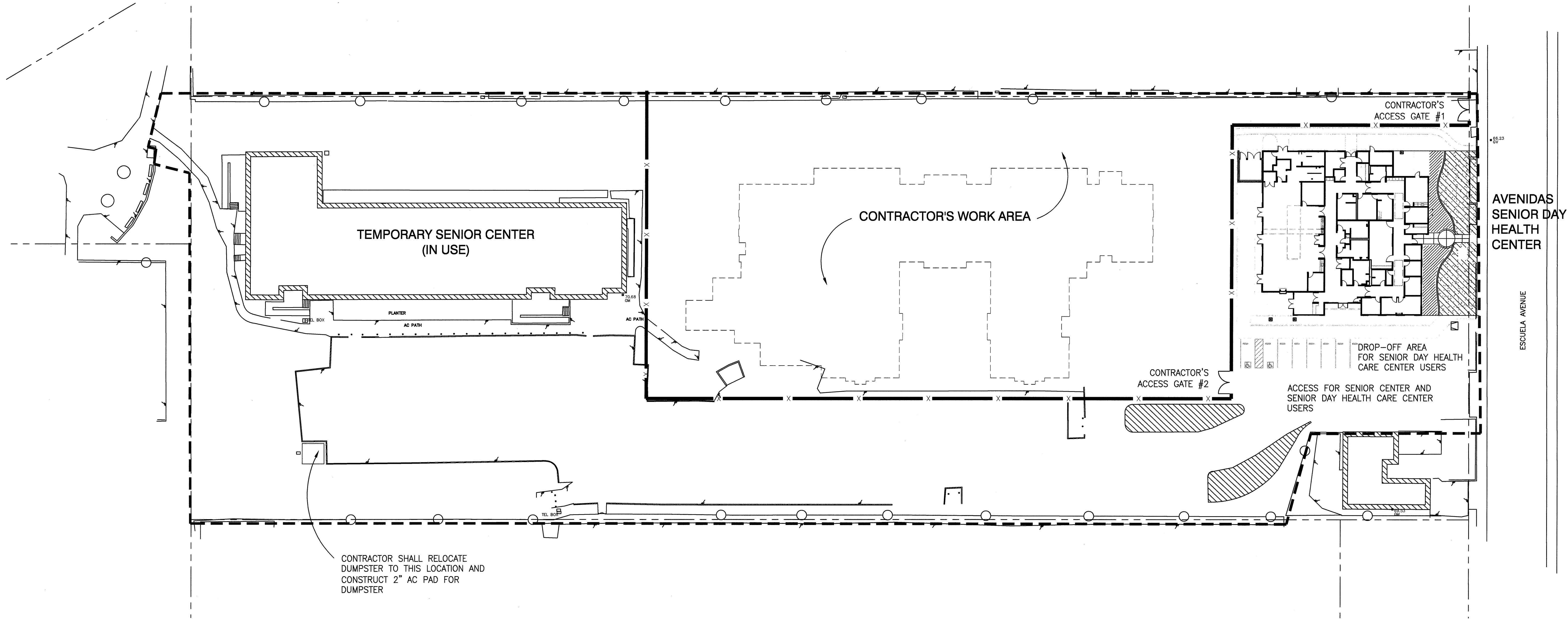
SHEET TITLE:

PHASING PLAN
PHASE I

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JOB NO: 0514

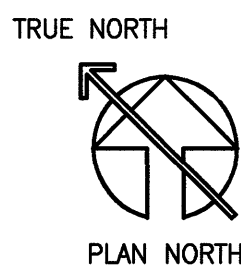
SHEET
T1.4



1 PHASE I
1"=30'-0"

TEMPORARY SENIOR CENTER AND
AVENIDAS SENIOR DAY HEALTH CARE
CENTER OPERATIONAL

PROJECT LIMIT OF WORK
CONSTRUCTION FENCE DEFINING
CONTRACTOR'S WORK AREA

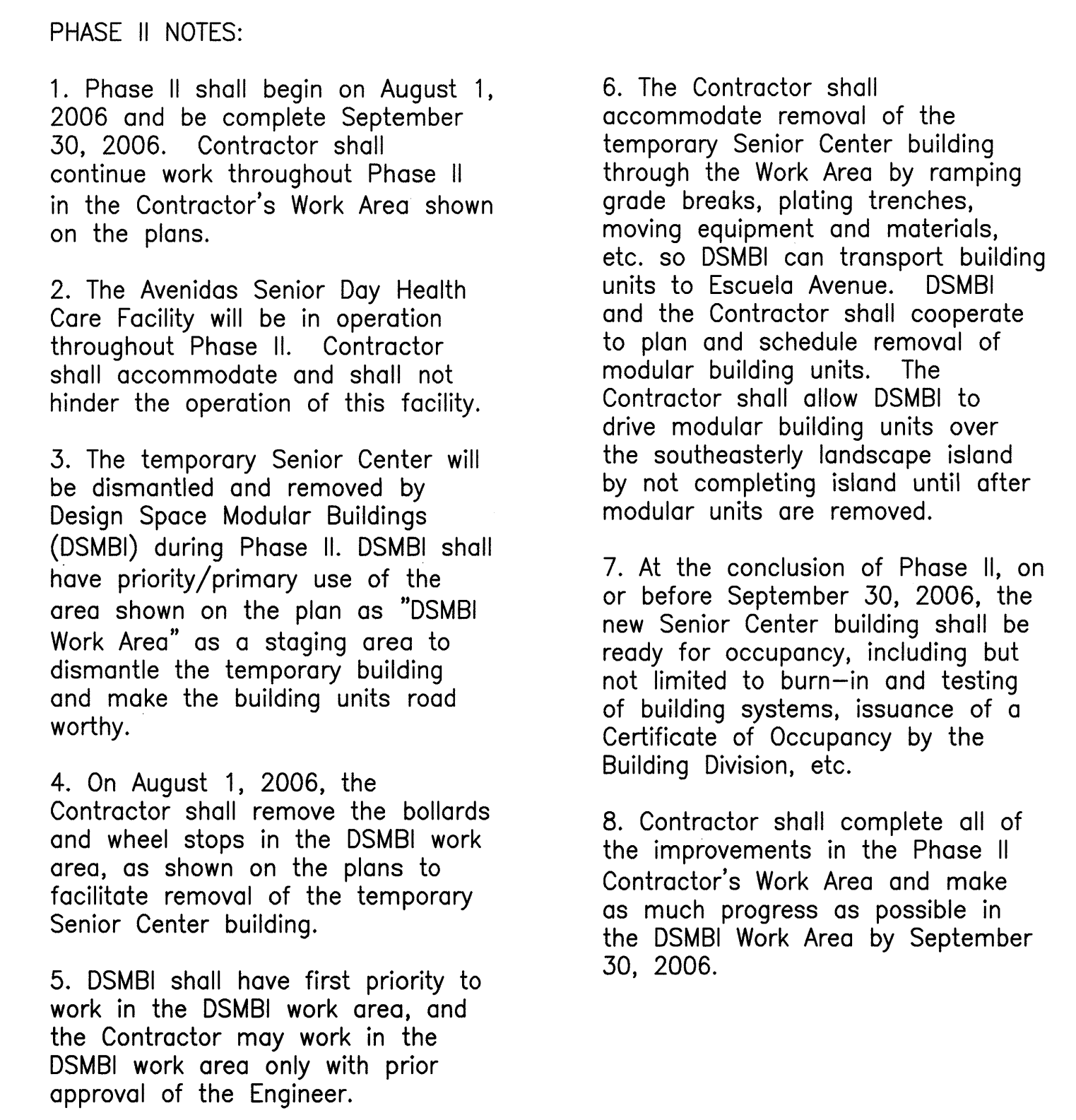


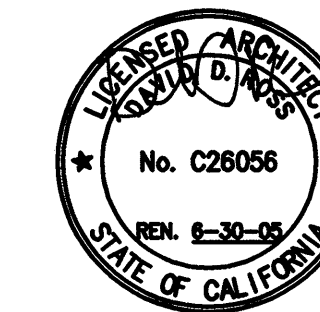
0 15' 30' 90'

PHASING PLAN NOTES

1. Phase I shall be from the date of Notice to Proceed through July 31, 2006.
2. The temporary Senior Center and the Avenidas Senior Day Health Care Facility will be in operation throughout Phase I. Contractor shall accommodate and shall not hinder the operation of these facilities.
3. The Contractor's work area (Work Area) shall be as shown on the plans. As a first order of work, the Contractor shall fence the Work Area with 6' fabric-covered temporary construction fencing, as shown on the plans and described in the specifications.
4. Contractor shall use Gate #1 for access to the Contractor's Work Area.
5. Contractor shall use Gate #2 only for activities approved by the Engineer, and only when vehicles are accompanied by a flagperson onsite.
6. Contractor may work outside of the Contractor's Work Area for a total of 30 working days during Phase I, and only under the following conditions:
 - A. Contractor shall notify the Engineer at least five (5) working days in advance of working outside of the Contractor's Work Area.
 - B. Contractor may occupy no more than seven (7) parking spaces at one time outside of the Contractor's Work Area.
 - C. Contractor shall maintain two-way traffic and access to all available parking spaces at all times on the site. Where traffic in the driveways is restricted to one way traffic, Contractor shall provide a flagperson to direct traffic.

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CHECKED BY: FF
JOB NO: 0314





**MOUNTAIN VIEW
SENIOR CENTER**
266 ESCUELA AVE
MOUNTAIN VIEW, CA

DATE: APRIL 18, 2005

REVISIONS:

CONSTRUCTION
SET

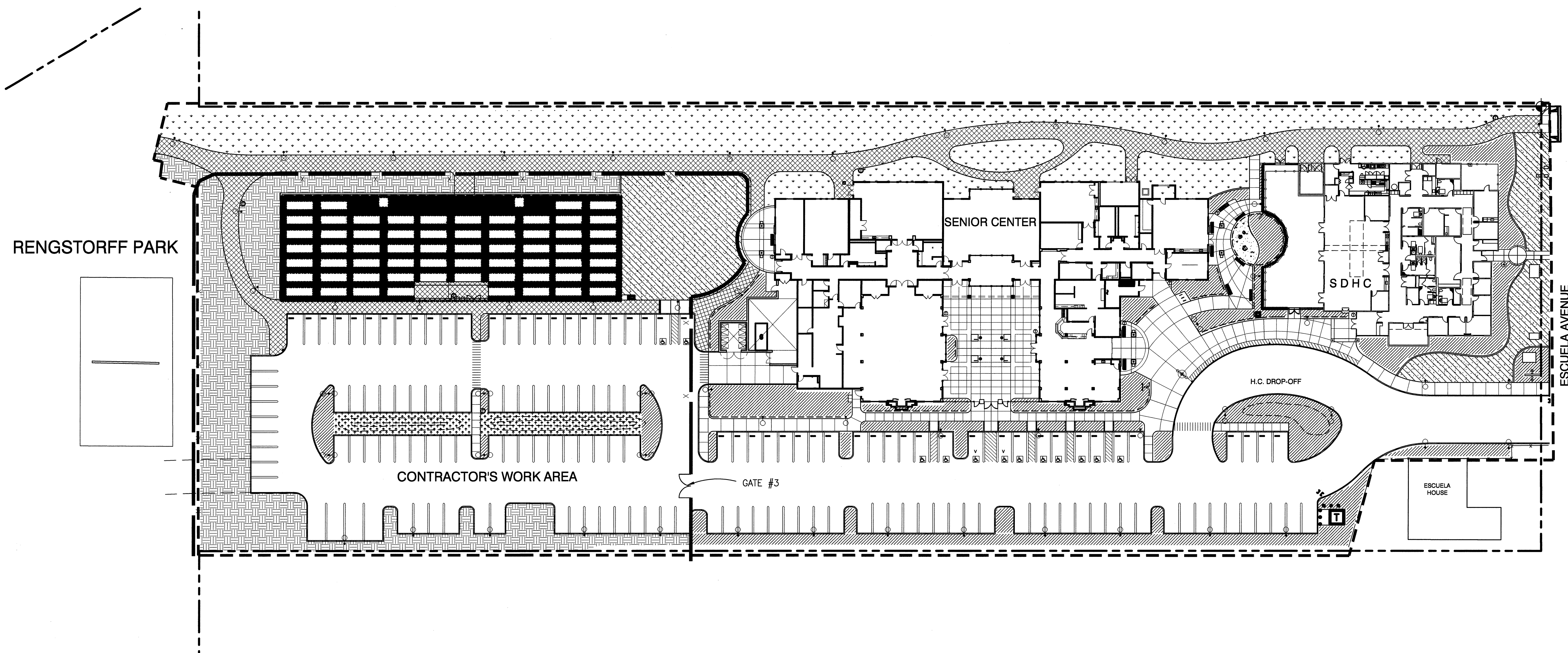
SHEET TITLE:

**PHASING PLAN
PHASE III**

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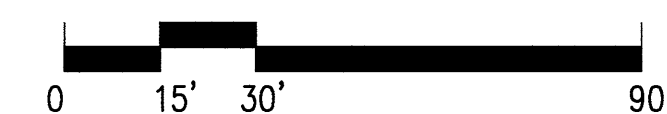
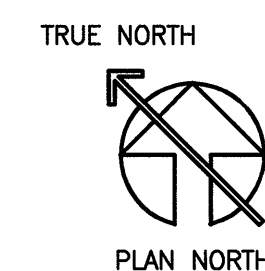
SHEET
T1.6



1 PHASE III
1"=30'-0"

NEW SENIOR CENTER OPERATIONAL

PROJECT LIMIT OF WORK
LINE DEFINING CONTRACTOR'S WORK
AREA



PHASE III NOTES:

1. Phase III shall extend from October 1, 2006 to contract completion date.
2. The Contractor shall access the site through the Senior Center driveway, but shall minimize vehicle traffic to and from the work area.
3. Contractor shall not store any equipment or materials outside of the Contractor's Work Area (Work Area) shown on the plans.
4. The northerly accessible pathway from Escuela Avenue to Rengstorff Park shall be open to pedestrians during Phase III.